



LAKE + LAND

GENERAL NOTES

1. THE CONTRACTOR SHALL FULLY COMPLY WITH THE MOST CURRENT IBC AS WELL AS ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. THE MOST CURRENT IEC AND IMC SHALL BE USED. THE CONTRACTOR SHALL BE LIABLE FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES INVOLVED.
2. THE CONTRACTOR SHALL USE ONLY WRITTEN DIMENSIONS, OR THOSE OTHERWISE DIRECTLY INDICATED BY LAKE AND LAND STUDIO, LLC. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND FOR THE CONDITIONS ON THE JOB.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS.
4. THE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND DETAILS CONTAINED WITHIN THE DESIGN PLANS. PRIOR TO THE INITIATION OF CONSTRUCTION, ANY SUSPECTED ERRORS, INCONSISTENCIES, AND/OR POTENTIAL DETAIL OMISSIONS ARE TO BE REPORTED TO LAKE AND LAND STUDIO, LLC FOR CLARIFICATION. THE CONTRACTOR SHALL NOT WORK WITHOUT CORRECT DESIGN PLANS. LAKE AND LAND STUDIO, LLC WILL NOT BE RESPONSIBLE FOR ANY IMPLICATIONS THAT RESULT SECONDARY TO A CONTRACTOR OR SUBCONTRACTOR'S CONSTRUCTION MEANS AND METHODS OR ACTS THAT ARE NOT COMPLETED IN ACCORDANCE WITH DESIGN PLANS.
5. THESE DESIGN PLANS ARE PROPERTY OF LAKE AND LAND STUDIO, LLC AND ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS. USE OF THE DESIGN PLAN INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR ONE-TIME USE ONLY, AS OUTLINED WITHIN THE DESIGN PLAN PURCHASE AGREEMENT. ANY DUPLICATION, PUBLICATION, DISTRIBUTION, AND/OR SALE OF ANY PART(S) OF THE PLANS IS STRICTLY PROHIBITED. ANY UNAUTHORIZED USE OF THE COPYRIGHTED MATERIAL REPRESENTS A VIOLATION OF FEDERAL LAW AND IS SUBJECT TO THE PRESCRIBED PENALTIES UNLESS PRIOR WRITTEN PERMISSION FOR USE IS GRANTED BY LAKE AND LAND STUDIO, LLC.
6. PURCHASE AGREEMENT:  
PURCHASE OF THESE DESIGN PLANS GRANTS THE BUYER THE RIGHT TO USE DOCUMENTS CONTAINED WITHIN FOR THE CONSTRUCTION OF A SINGLE HOME. THE BUYER ACKNOWLEDGES THAT THE TITLE, DESIGN PLANS (AND DERIVATIVES THEREOF), INTEREST IN COPYRIGHTS, AND ALL OTHER RIGHTS OF OWNERSHIP REMAIN WITH LAKE AND LAND STUDIO, LLC. ANY DESIGN PLAN MODIFICATIONS ARE CONSIDERED TO BE DERIVATIVES OF THE ORIGINAL AND ARE PROTECTED WITHIN THE COPYRIGHT PARAMETERS PREVIOUSLY STATED; PLAN DERIVATIVES MAY NOT BE SOLD, COPIED, OR USED FOR CONSTRUCTION OF ANY OTHER RESIDENCE.
7. LAKE AND LAND STUDIO, LLC WILL NOT BE HELD RESPONSIBLE FOR ANY FAULT RESULTING FROM UNAUTHORIZED USE OF ANY PART(S) OF THESE DESIGN PLANS (OR ANY AFTER-PURCHASE DESIGN MODIFICATIONS) IN ANY CONSTRUCTION OR BUILDING ACT.
8. LAKE AND LAND STUDIO, LLC RESERVES THE RIGHT TO MAKE MODIFICATIONS TO DESIGN PLANS, DRAWINGS, AND/OR MODELS AT ANY TIME; DETAILS IN IMAGES USED FOR MARKETING PURPOSES ON WEBSITES OR IN CATALOGS MAY NOT MATCH DESIGN PLANS EXACTLY.
9. LIMITATION OF LIABILITY:  
LAKE AND LAND STUDIO, LLC SHALL NOT BE LIABLE FOR ANY SPECIAL, CONSEQUENTIAL, INCIDENTAL, OR INDIRECT DAMAGES ARISING FROM USE OF THE PLANS INCLUDING, BUT NOT LIMITED TO, DAMAGES FOR LOSS OF ANTICIPATED PROFITS OR LOSS OF BUSINESS OPPORTUNITY. TO THE EXTENT PERMITTED BY LAW, LIABILITY OF LAKE AND LAND STUDIO, LLC SHALL BE LIMITED TO THE RETAIL PRICE OF THE PLANS.
10. BUILDING CODES VARY BY LOCATION DUE TO VAST DIFFERENCES IN GEOGRAPHICAL AND CLIMATE RELATED FACTORS THAT IMPACT CONSTRUCTION. EACH STATE, COUNTY, AND MUNICIPALITY HAS ITS OWN RESPECTIVE BUILDING CODES, ZONE REQUIREMENTS, AND ORDINANCES FOR BUILDING REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING PLANS TO THE NECESSARY STATE, COUNTY, AND LOCAL OFFICIALS FOR PERMITTING OF CONSTRUCTION OF THIS PROJECT. DESIGN PLANS MAY NEED TO BE MODIFIED TO COMPLY WITH LOCAL REQUIREMENTS REGARDING SNOW LOADS, ENERGY CODES, SOIL AND SEISMIC CONDITIONS, AND NUMEROUS OTHER VARIABLE FACTORS. IT IS THE BUYER'S RESPONSIBILITY TO CONSULT WITH APPROPRIATE LOCAL CONSTRUCTION PROFESSIONALS (ARCHITECTS, ENGINEERS) TO DETERMINE IF PLANS COMPLY WITH CODES GOVERNING THE BUYER'S BUILDING SITE AND, IF NECESSARY, TO SEE THAT APPROPRIATE MODIFICATIONS ARE MADE TO PLANS PRIOR TO CONSTRUCTION.

# SINGLETARY RESIDENCE

CRANE ISLAND, FL



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## SYMBOL LEGEND

	DOOR LABEL
	WINDOW LABEL
	INTERIOR ELEVATION LABEL
	ANNOTATION
	BREAK LINE
	HIDDEN OR INVISIBLE LINE
	ELEVATION DATUM LINE
	SECTION CUT LINE



LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. THESE DRAWINGS ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE  
COVER PAGE

PROJECT DESCRIPTION:  
SINGLETARY RESIDENCE  
CRANE ISLAND, FL

DRAWINGS PROVIDED BY:  
LAKE AND LAND STUDIO, LLC  
16 Beltress Blvd  
Patterson, MS 39402  
901.330.0014  
info@lakeandlandstudio.com

DATE:

1/14/20

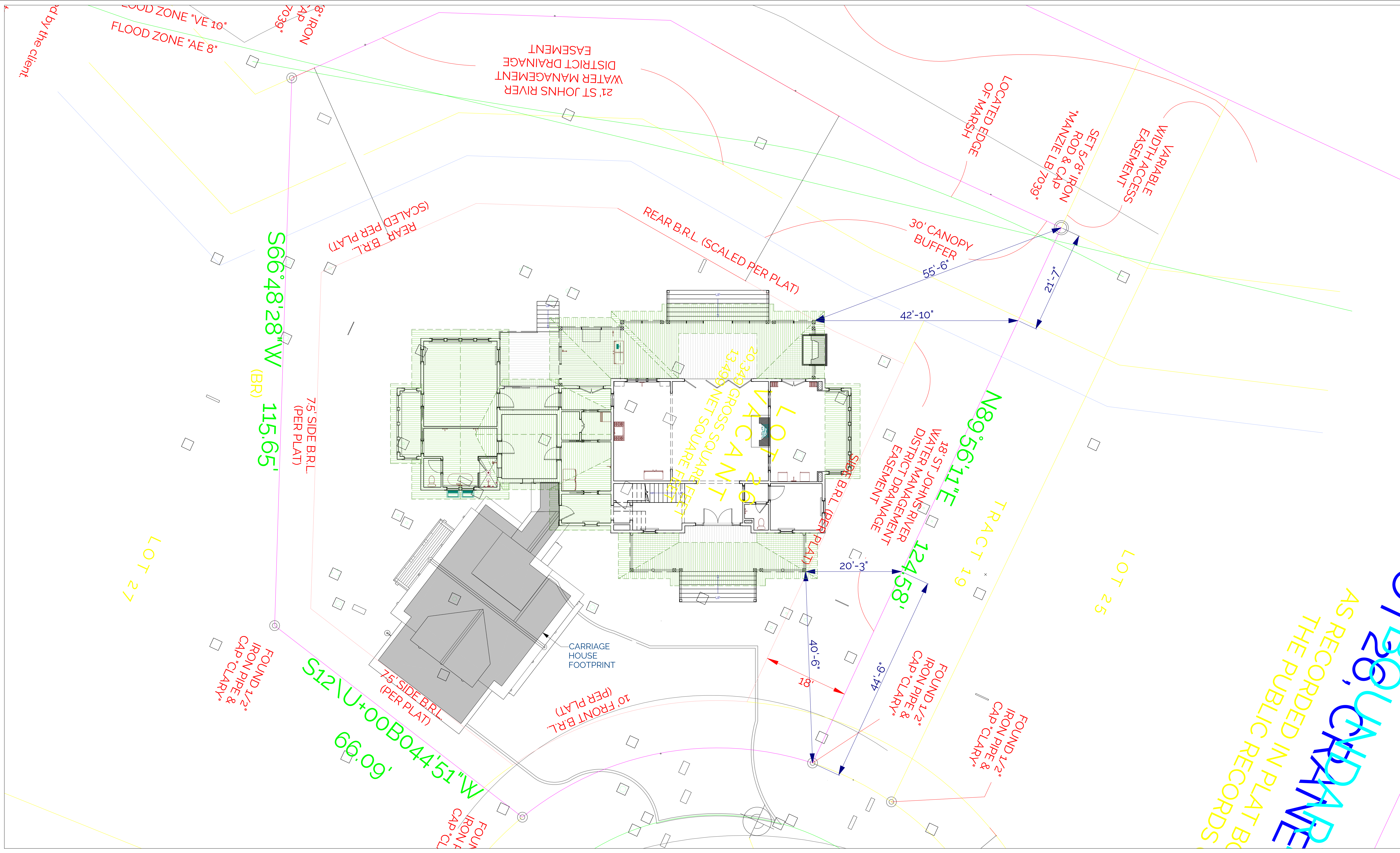
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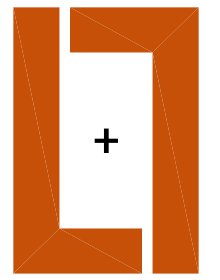
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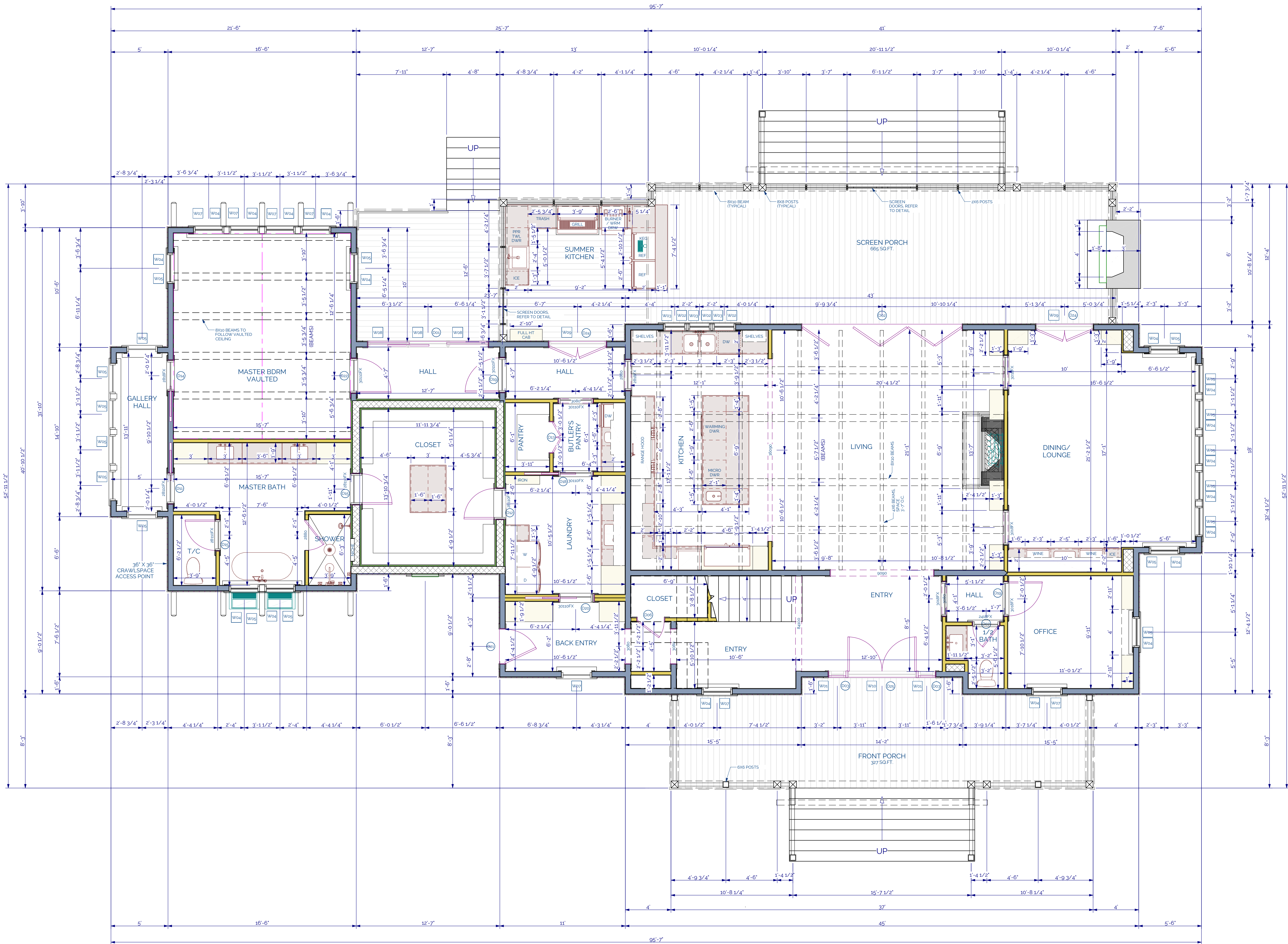
COVER  
PAGE





 STUDIO	LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. THESE DRAWINGS ARE FOR DESIGN PURPOSES ONLY.
SHEET TITLE SITE PLAN	
PROJECT DESCRIPTION SINGLESTORY RESIDENCE CRANE ISLAND, FL	
DRAWINGS PROVIDED BY: LAKE AND LAND STUDIO, LLC 16 Bellegrace Blvd Pattersonburg, MS 39402 901.330.0014 info@lakeandlandstudio.com	
DATE:	1/14/20
SCALE:	1/8"=1'-0"
SHEET:	C-101





GENERAL FLOOR PLAN NOTES

1. FIRST FLOOR CEILINGS ARE 11'-0" UNLESS OTHERWISE NOTED.

2. SECOND FLOOR CEILINGS ARE 9'-0" UNLESS OTHERWISE NOTED.

WALL LEGEND

AREA CALCULATIONS

FIRST FLOOR CONDITIONED

2,705 SQ FT

SECOND FLOOR CONDITIONED

1,246 SQ FT

TOTAL CONDITIONED

3,951 SQ FT

FIRST FLOOR UNDER ROOF

3,705 SQ FT

SECOND FLOOR UNDER ROOF

1,399 SQ FT

TOTAL UNDER ROOF

5,104 SQ FT

HOT TUB DECK

145 SQ FT

LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. THESE DRAWINGS ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:

FIRST FLOOR PLAN

PROJECT DESCRIPTION:

SINGLETARY RESIDENCE  
CRANE ISLAND, FL

DRAWINGS PROVIDED BY:

LAKE AND LAND STUDIO, LLC  
16 Bellegress Blvd  
Patterson, MS 39402  
901.330.0014  
info@lakeandlandstudio.com

DATE:

1/14/20

SCALE:

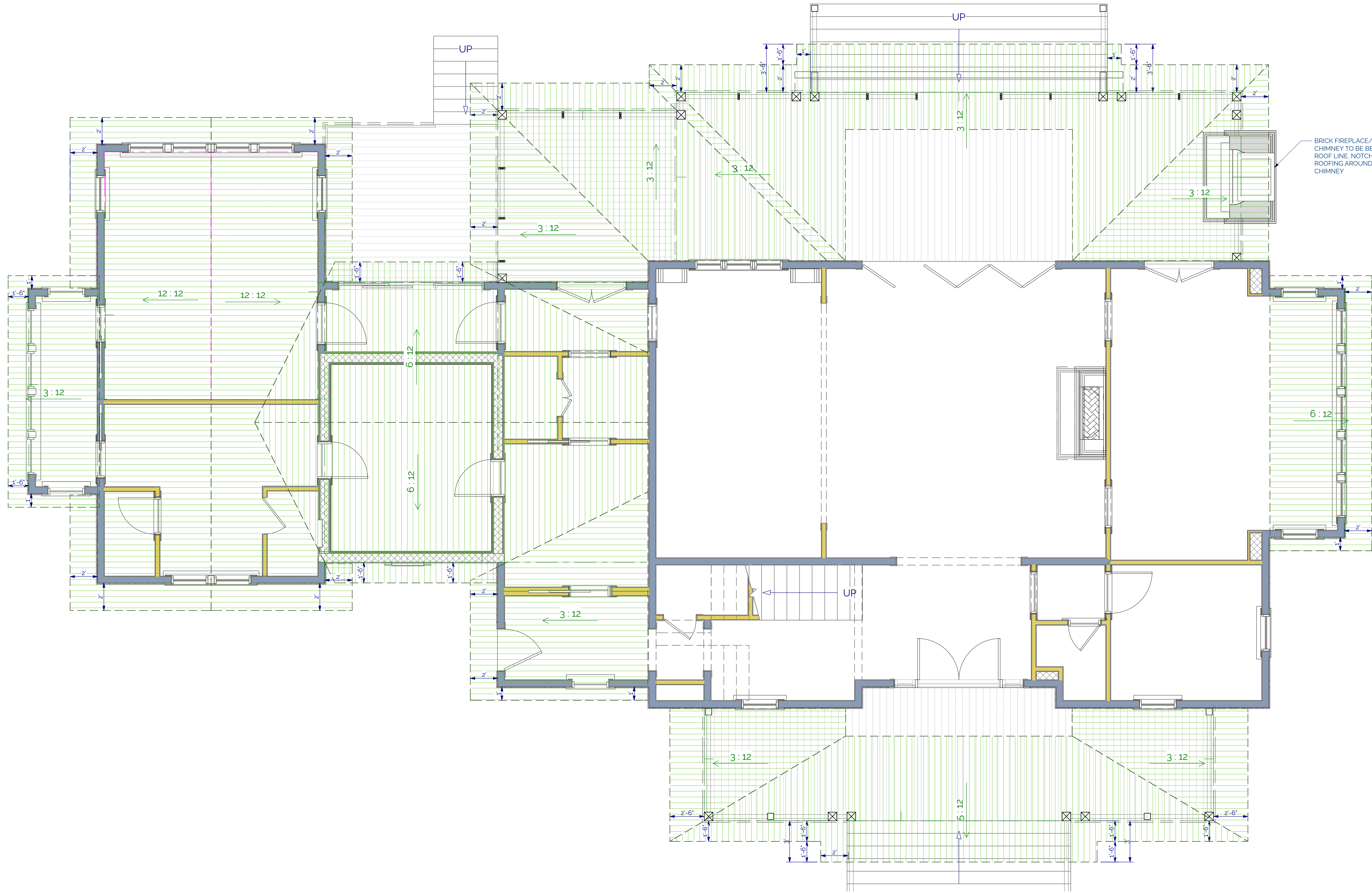
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SHEET:

A-101

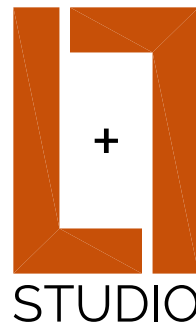






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**GENERAL ROOF PLAN NOTES**  
1. NO ROOF PENETRATIONS. ALL PLUMBING  
VENTS TO BE ROUTED TO EAVE OVERHANGS.



LAKE AND LAND STUDIO, LLC RECOMMENDS  
THAT ALL DRAWINGS BE REVIEWED AND  
APPROVED BY A LICENSED PROFESSIONAL  
STRUCTURAL ENGINEER. THESE DRAWINGS  
ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:  
**LOWER ROOF PLAN**

PROJECT DESCRIPTION:  
**SINGLESTORY RESIDENCE**  
CRANE ISLAND, FL

DRAWINGS PROVIDED BY:  
**LAKE AND LAND STUDIO, LLC**  
16 Beltgrass Blvd  
Patterson, MS 39402  
601.330.6014  
info@lakeandlandstudio.com

DATE:

1/14/20

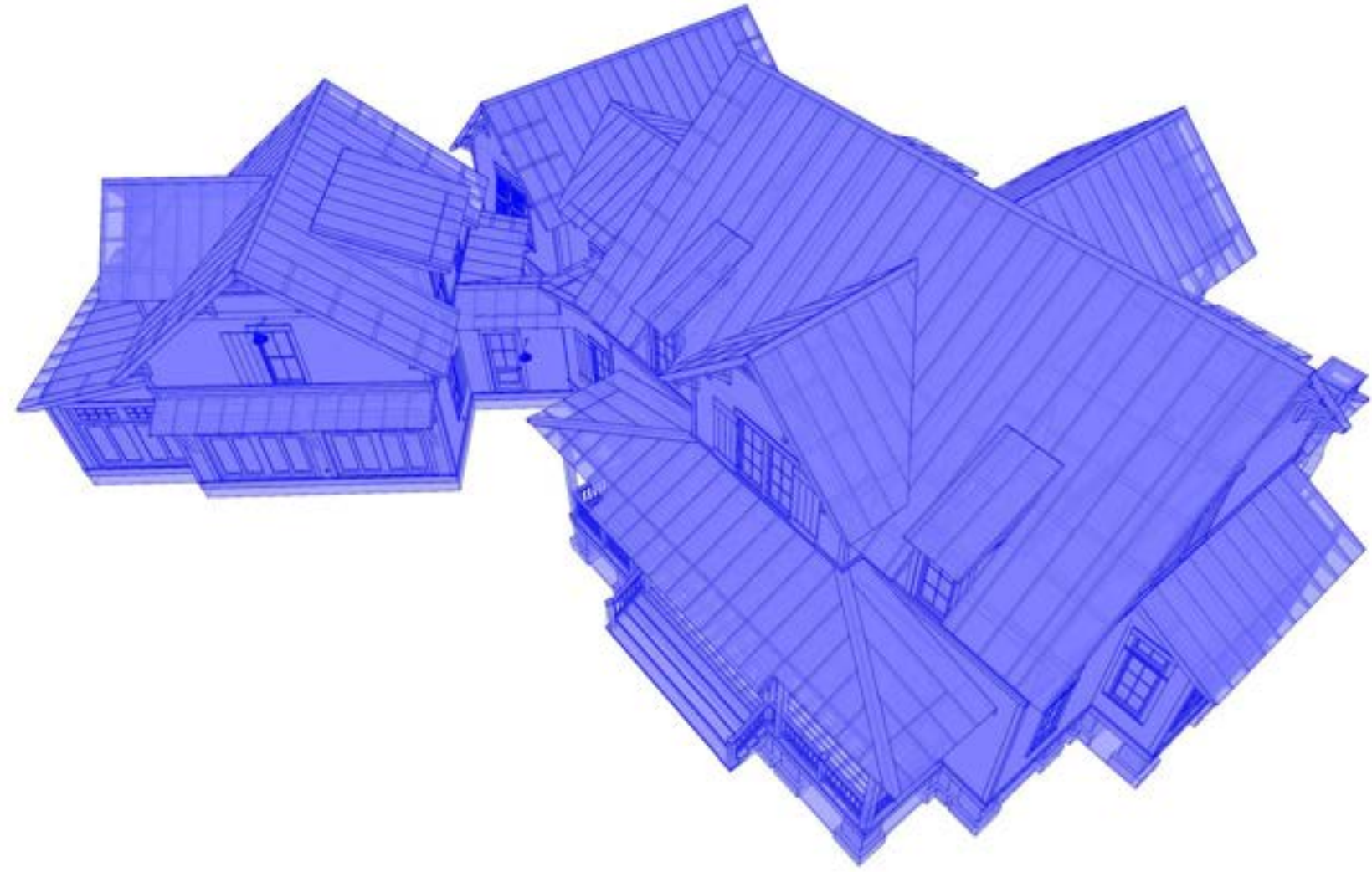
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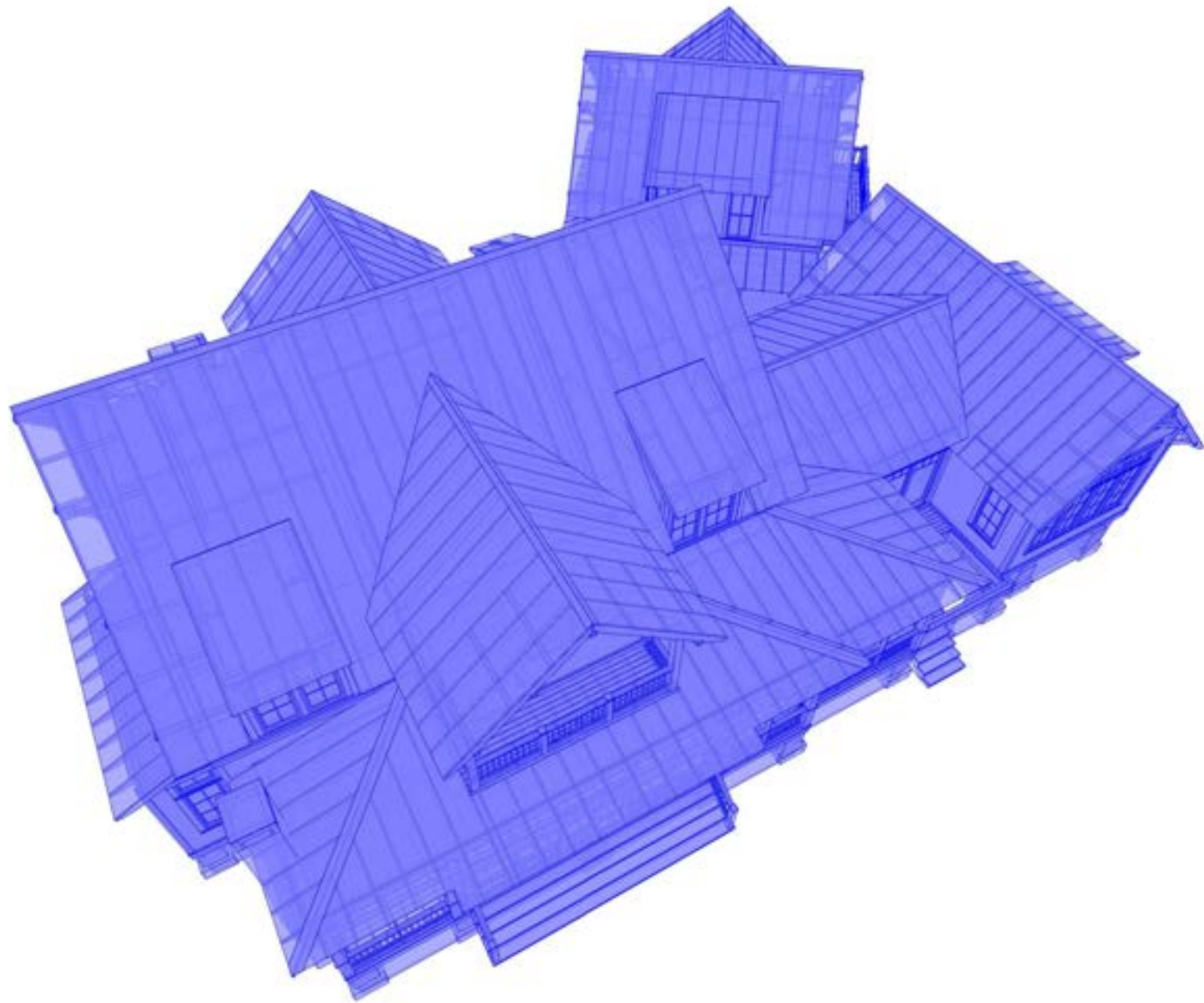
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A-103

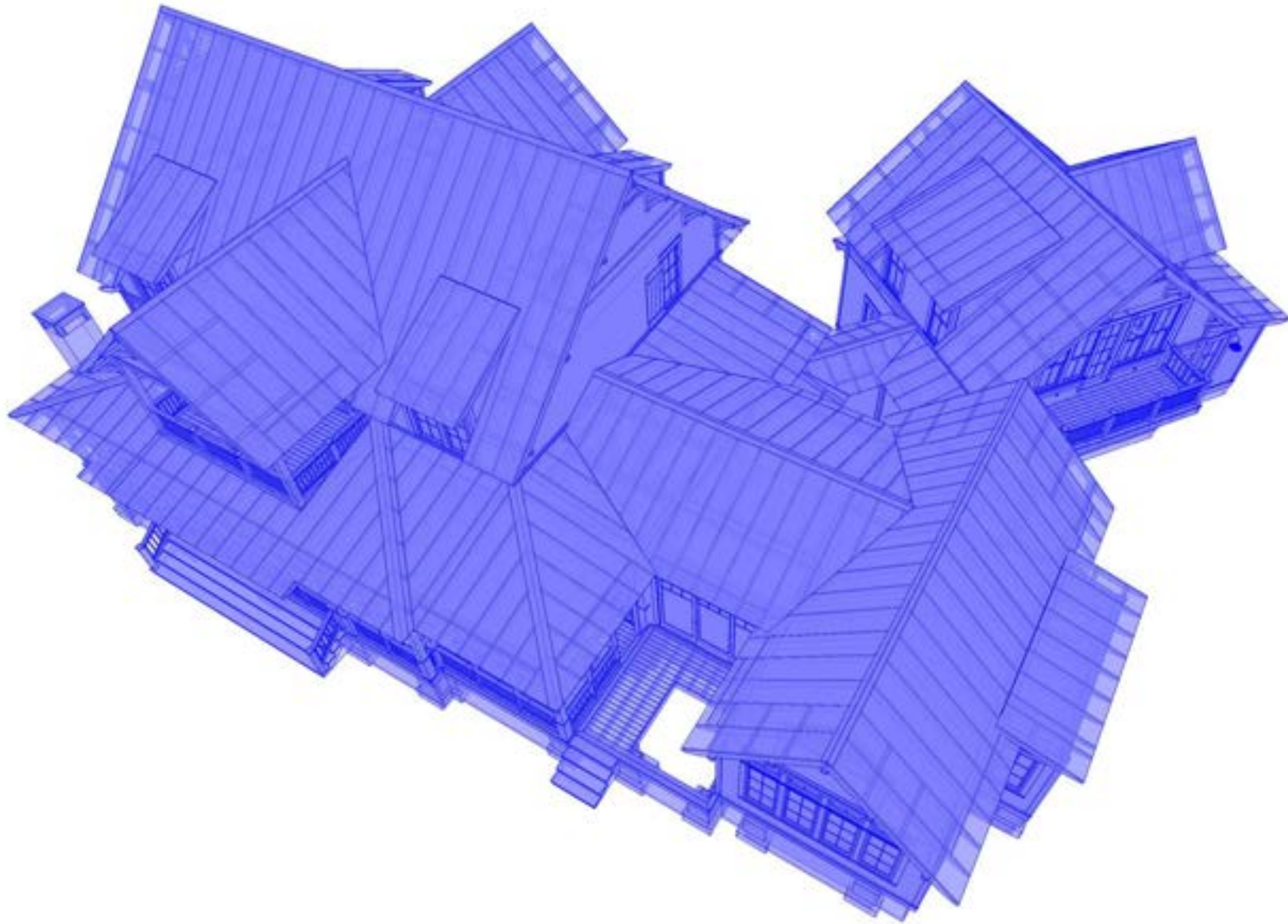




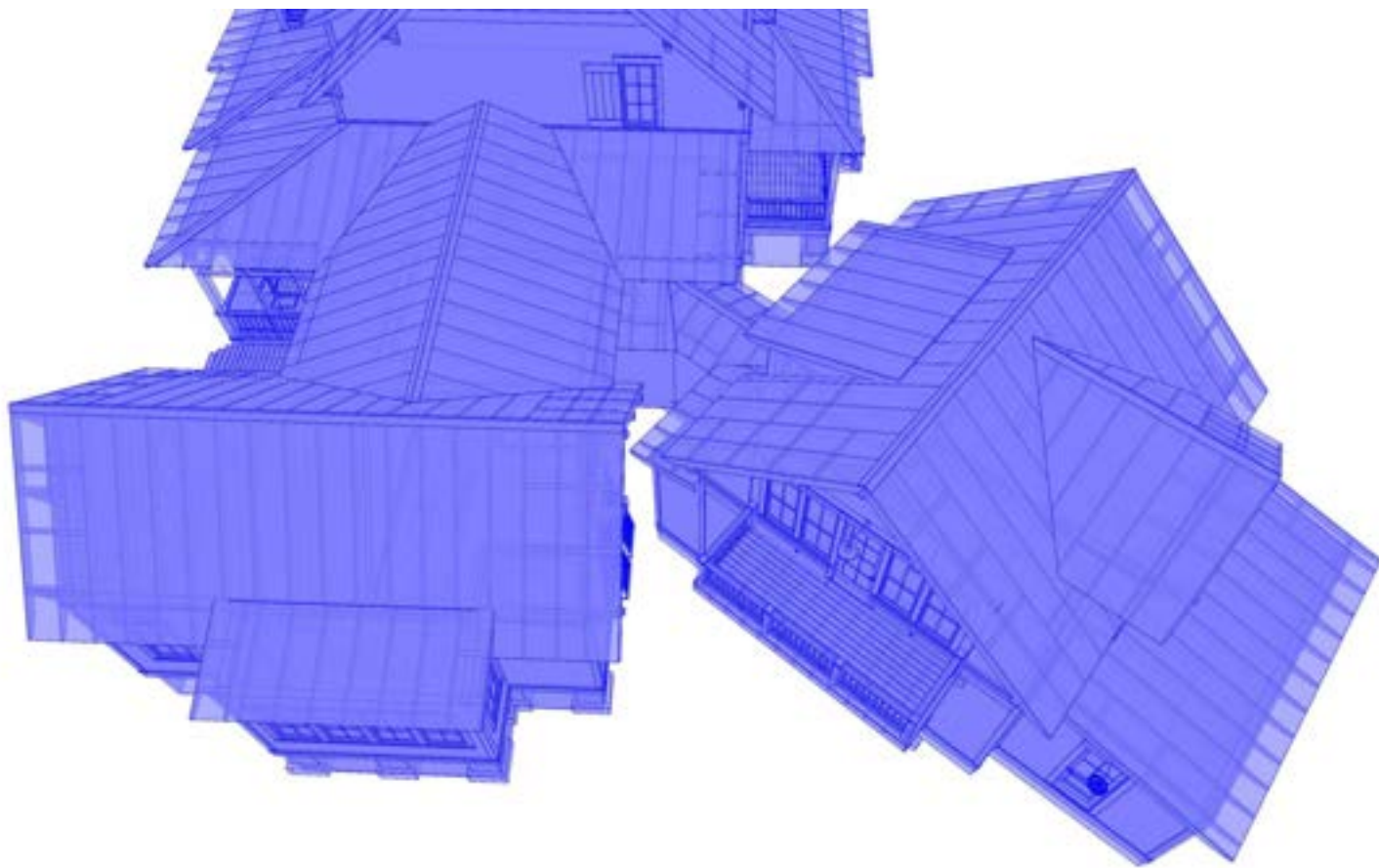
FRONT-RIGHT ROOF OVERVIEW



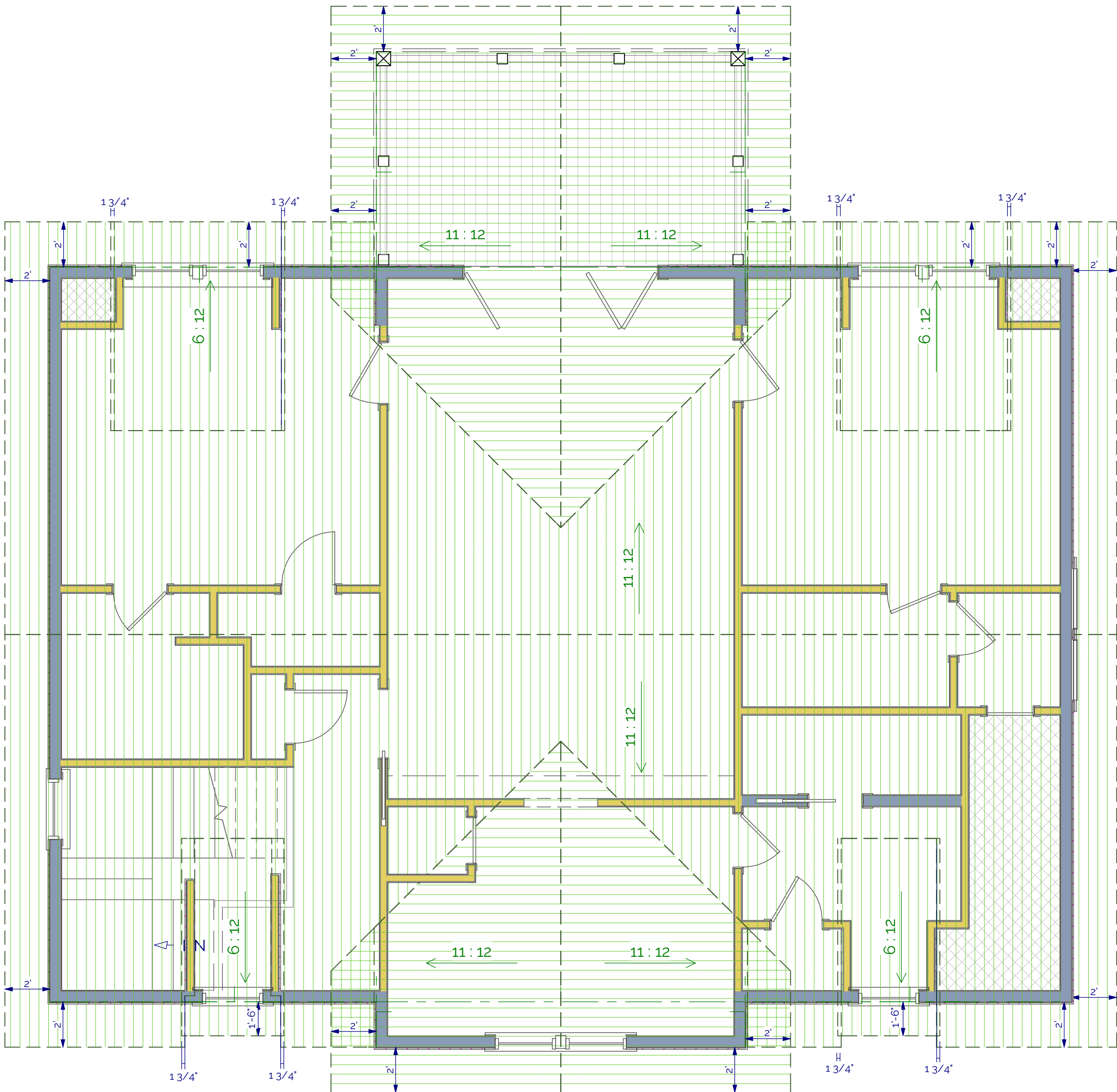
BACK-RIGHT ROOF OVERVIEW



BACK-LEFT ROOF OVERVIEW

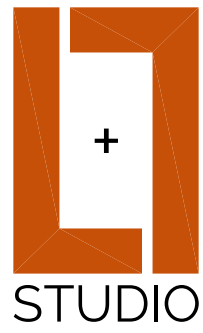


LEFT ROOF OVERVIEW



. &&) # %% #&\$' (

**GENERAL ROOF PLAN NOTES**  
1. NO ROOF PENETRATIONS. ALL PLUMBING VENTS TO BE ROUTED TO EAVE OVERHANGS.



LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. OUR DRAWINGS ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:  
UPPER ROOF PLAN

PROJECT DESCRIPTION:  
SINGLETARY RESIDENCE  
CRANE ISLAND, FL

DRAWINGS PROVIDED BY:  
LAKE AND LAND STUDIO, LLC  
16 Bellegrass Blvd  
Patterson, MS 39402  
901.330.6114  
info@lakeandlandstudio.com

DATE:

1/14/20

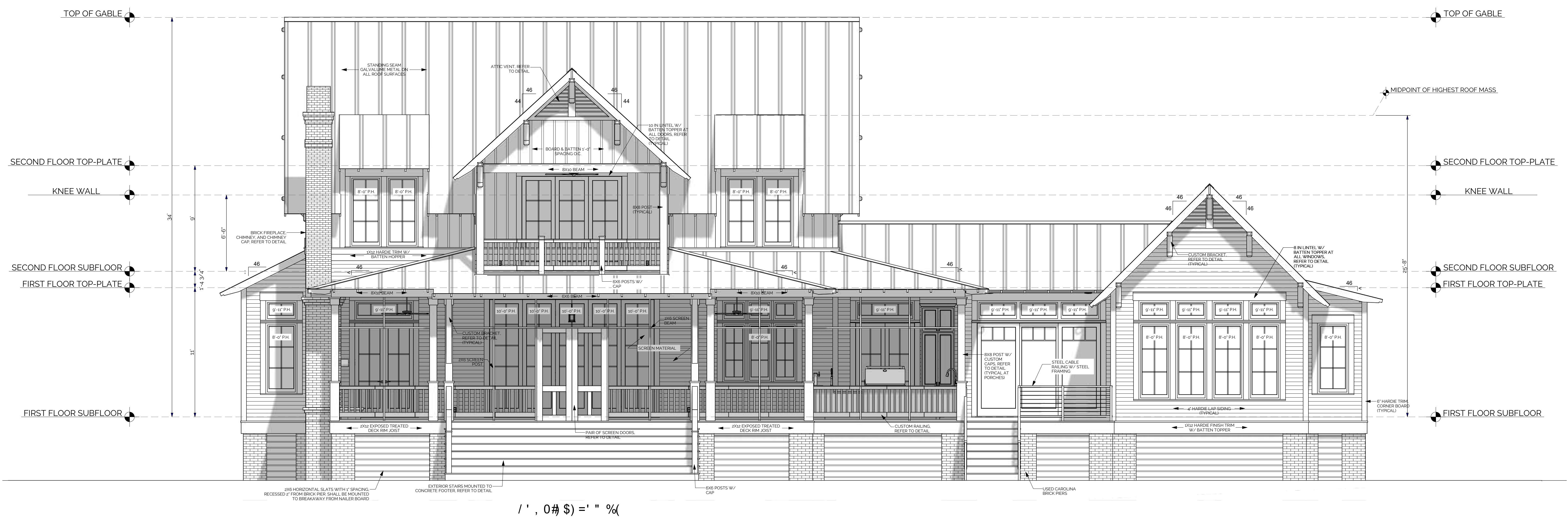
SCALE:

1/4"=1'-0"

SHEET:

A-104





LAKE AND LAND STUDIO, LLC RECOMMENDS  
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APPROVED BY A LICENSED ARCHITECT OR  
STRUCTURAL ENGINEER. THESE DRAWINGS  
ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

PROJECT DESCRIPTION:  
**SINGLETRARY RESIDENCE**  
CRANE ISLAND, FL

DRAWINGS PROVIDED BY:  
**LAKE AND LAND STUDIO, LLC**  
16 Beltgrass Blvd  
Patterson, MS 39402  
601.330.6014  
info@lakeandlandstudio.com

DATE:

1/14/20

SCALE:

1/4"=1'-0"

SHEET:

A-201





PROJECT DESCRIPTION:  
SINGLETARY RESIDENCE  
CRANE ISLAND EIR

SHEET:  
A-202







SHEET TITLE:  
DETAILS

PROJECT DESCRIPTION:  
SINGLETARY RESIDENCE  
CRANE ISLAND, FL

DRAWINGS PROVIDED BY:  
**LAKE AND LAND STUDIO, LLC**  
16 Bellegrass Blvd  
Hattiesburg, MS 39402  
601.336.8114  
info@lakeandlandstudio.com

DATE:

1/14/20

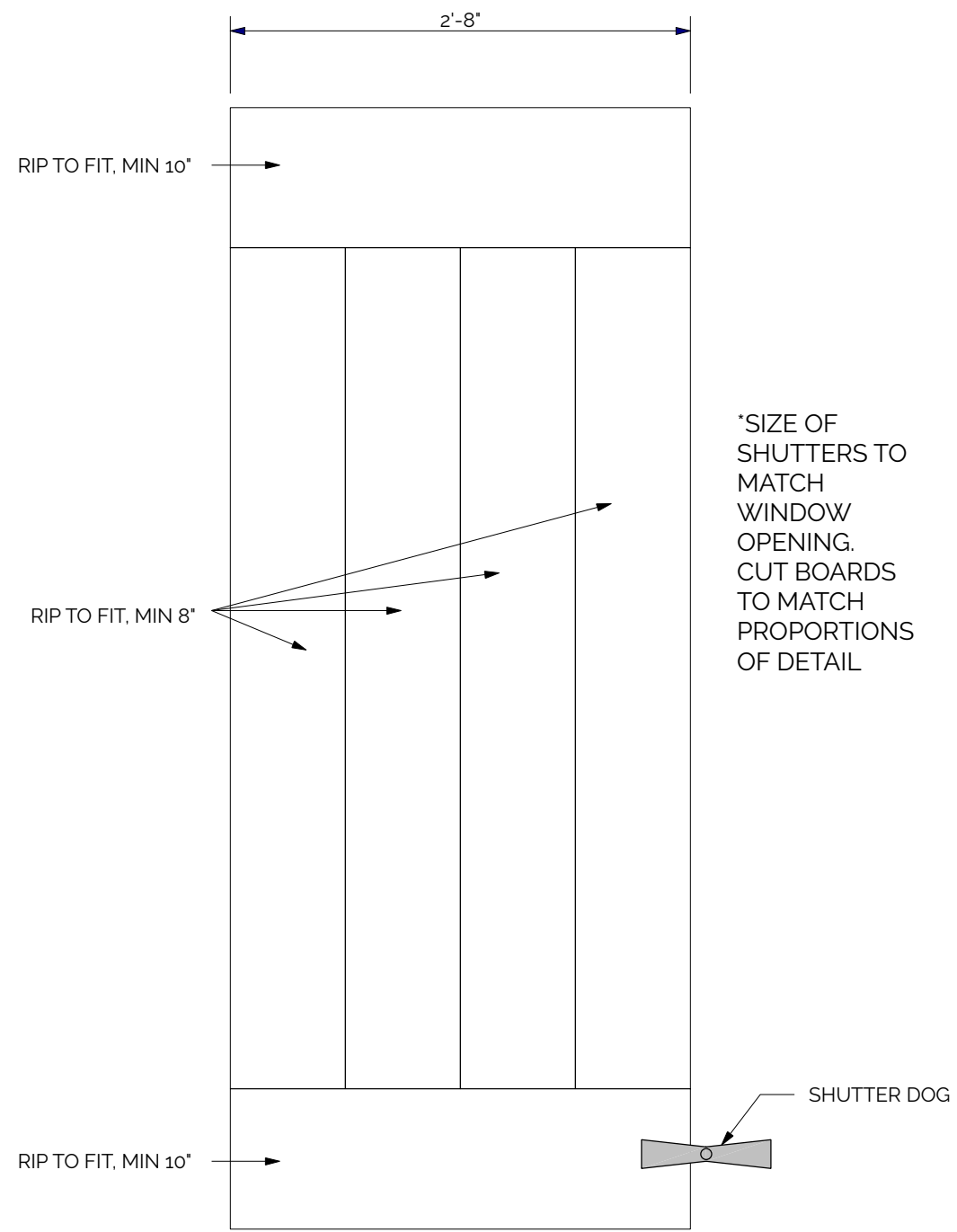
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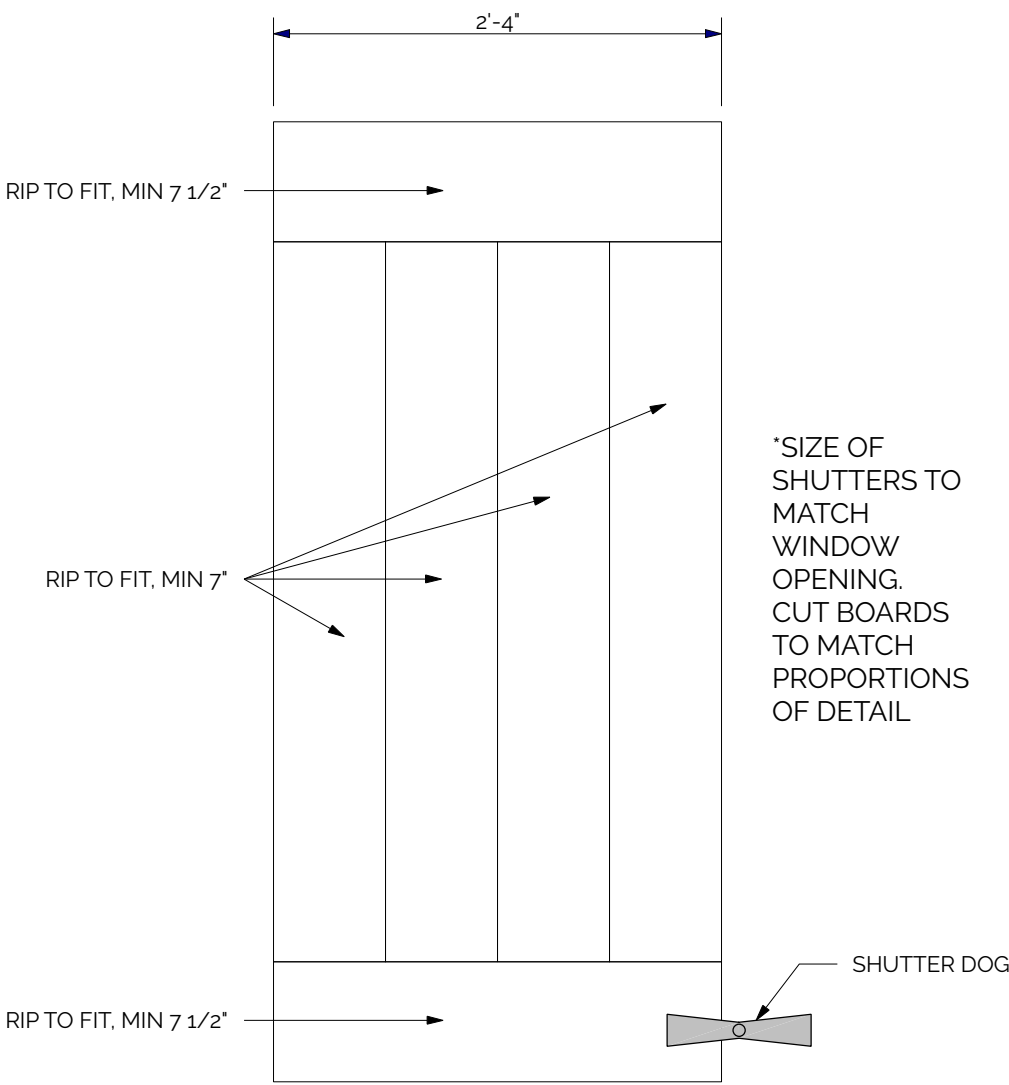
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A-801

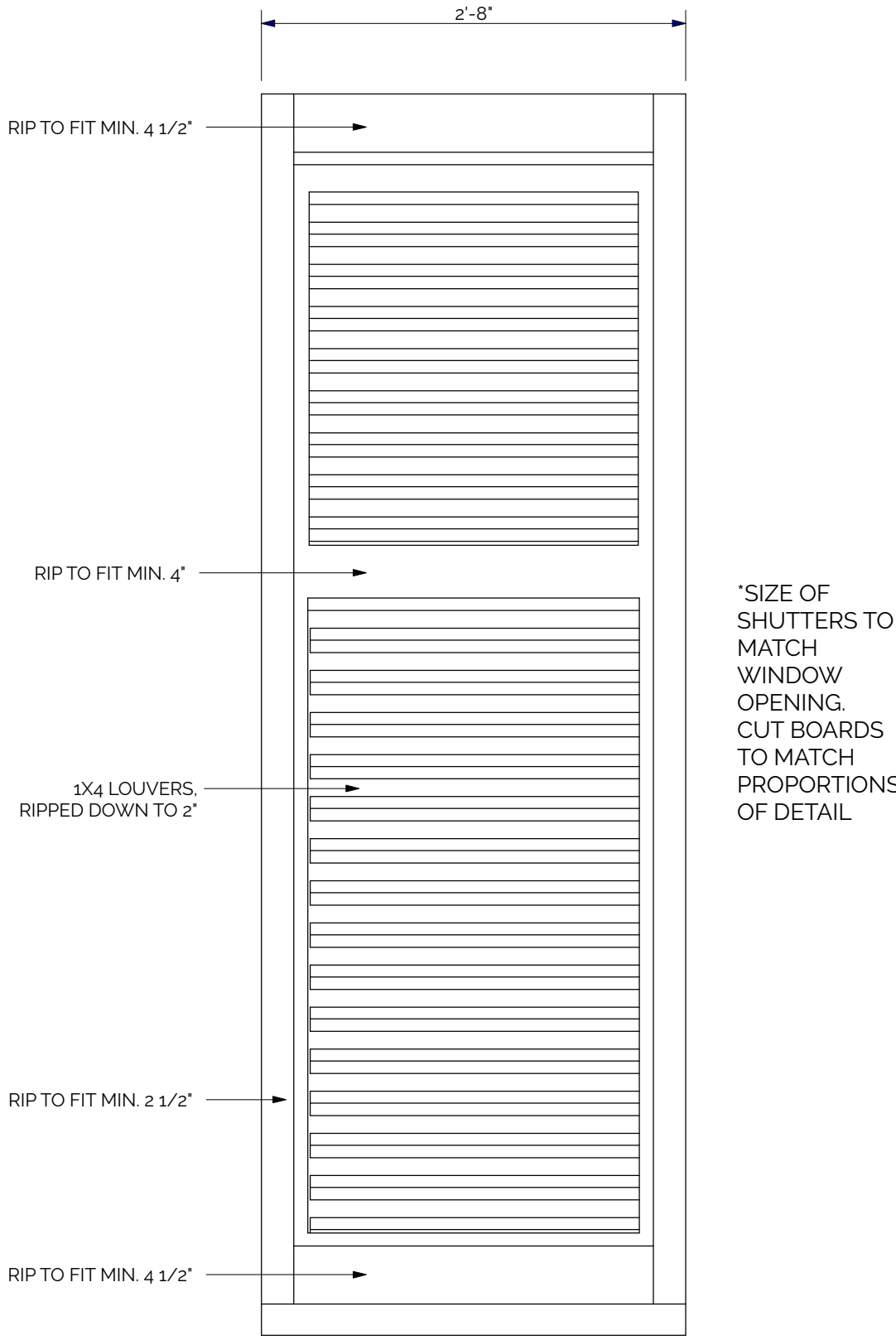




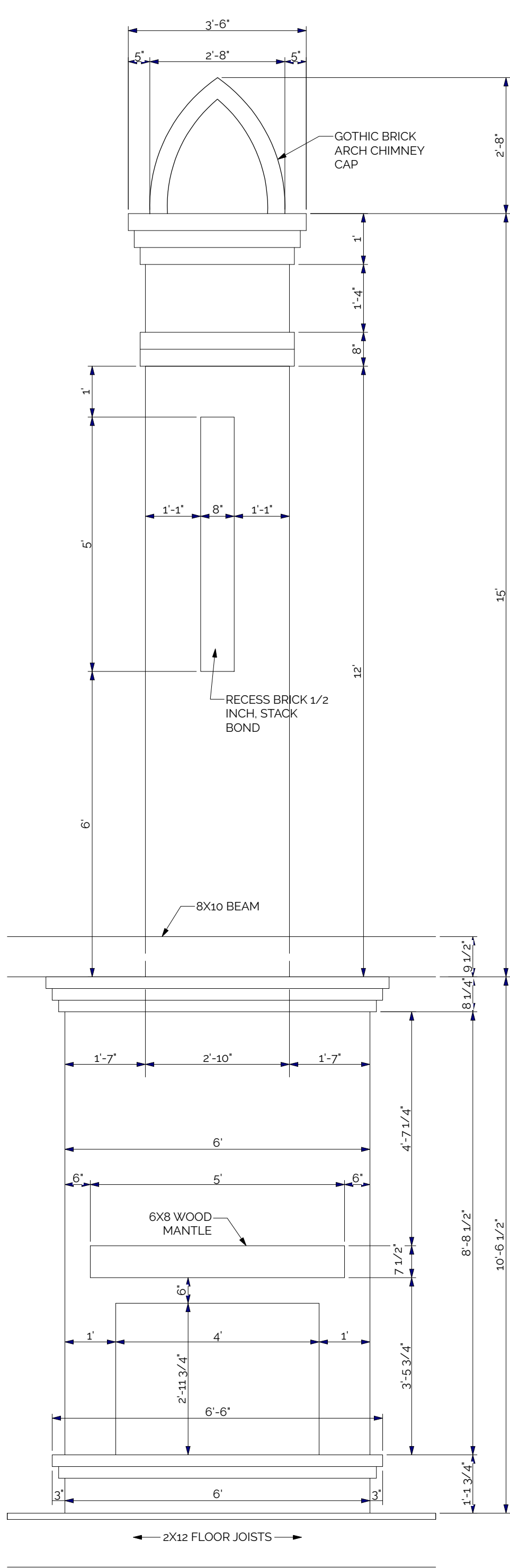
2 OUTER BOARD + BATTEN 32" SHUTTER  
SCALE: 1"=1'-0"



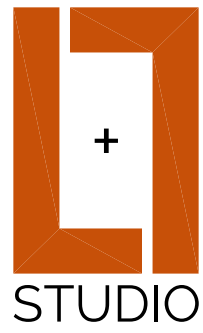
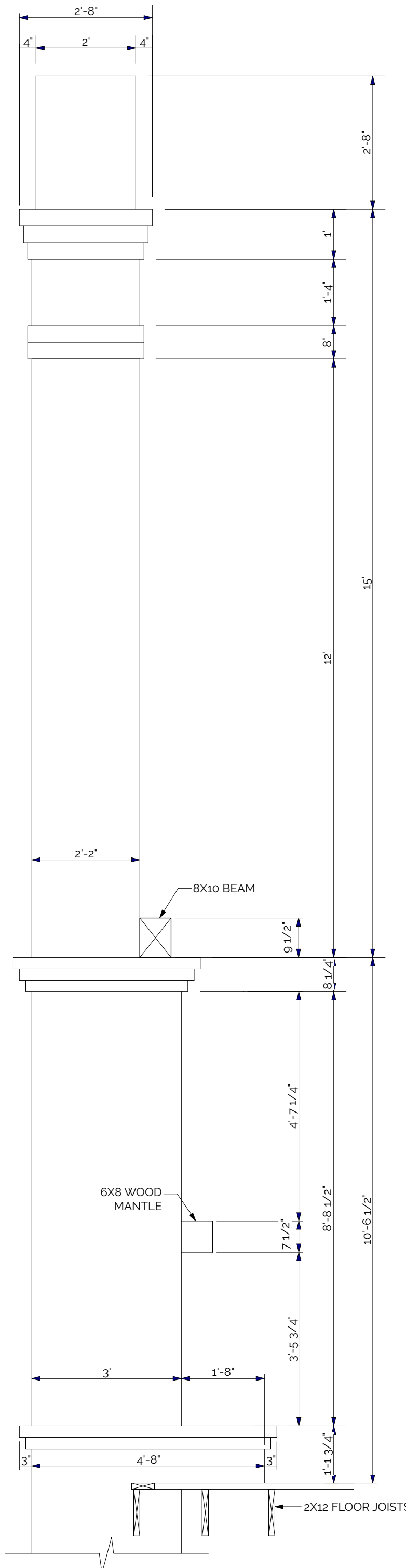
2 OUTER BOARD + BATTEN 28" SHUTTER  
SCALE: 1"=1'-0"



LOUVERED BAHAMA SHUTTER DETAIL  
SCALE: 1"=1'-0"



SCREEN PORCH FIREPLACE DETAIL  
SCALE: 1"=1'-0"



LAKE AND LAND STUDIO, LLC RECOMMENDS  
THAT ALL DRAWINGS BE REVIEWED AND  
APPROVED BY A LICENSED ARCHITECT OR  
STRUCTURAL ENGINEER. THESE DRAWINGS  
ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:

DETAILS

PROJECT DESCRIPTION:

SINGLETARY RESIDENCE  
CRANE ISLAND, FL

DRAWINGS PROVIDED BY:

LAKE AND LAND STUDIO, LLC  
16 Bellegress Blvd  
Patterson, MS 39402  
601.330.6014  
info@lakeandlandstudio.com

DATE:

1/14/20

SCALE:

N/A

SHEET:

A-802





ENTRY



ENTRY TO LIVING



BACK TO FRONT ENTRY



BACK EXTERIOR



LIVING TO KITCHEN



KITCHEN TO LIVING



KITCHEN



BACK EXTERIOR



DINING/LOUNGE



UPSTAIRS LIVING



MASTER BEDROOM



BACK OF CARRIAGE HOUSE EXTERIOR



MASTER BATH



MASTER BATH

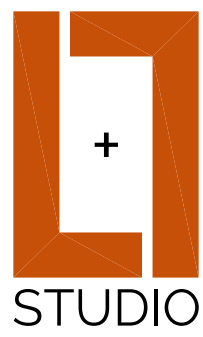


MASTER BATH



HOT TUB EXTERIOR

**GENERAL PERSPECTIVE NOTES**  
1. 3-D PERSPECTIVES ARE FOR VISUAL PURPOSES ONLY AND DO NOT NECESSARILY REPRESENT THE OWNER'S INTENT OR CORRELATE WITH THE FINAL PLAN DESIGN. CONFIRM ALL ASPECTS OF DESIGN WITH OWNER.



LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. THESE DRAWINGS ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:

PERSPECTIVES

PROJECT DESCRIPTION:

SINGLETARY RESIDENCE  
CRANE ISLAND, FL

DRAWINGS PROVIDED BY:

LAKE AND LAND STUDIO, LLC  
16 Bellegrace Blvd  
Pittsburg, KS 66902  
913.330.6014  
info@lakeandlandstudio.com

DATE:

1/14/20

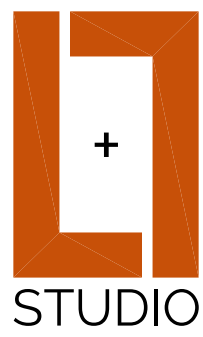
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SHEET:

A-901





LAKE AND LAND STUDIO, LLC RECOMMENDS  
THAT ALL DRAWINGS BE REVIEWED AND  
APPROVED BY A LICENSED ELECTRICAL OR  
STRUCTURAL ENGINEER. THESE DRAWINGS  
ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:  
FIRST FLOOR  
ELECTRICAL PLAN

PROJECT DESCRIPTION:  
SINGLESTARY RESIDENCE  
CRANE ISLAND, FL

DRAWINGS PROVIDED BY:  
LAKE AND LAND STUDIO, LLC  
16 Battleground Blvd  
Pattersonburg, MS 39402  
901.339.0014  
info@lakeandlandstudio.com

DATE:

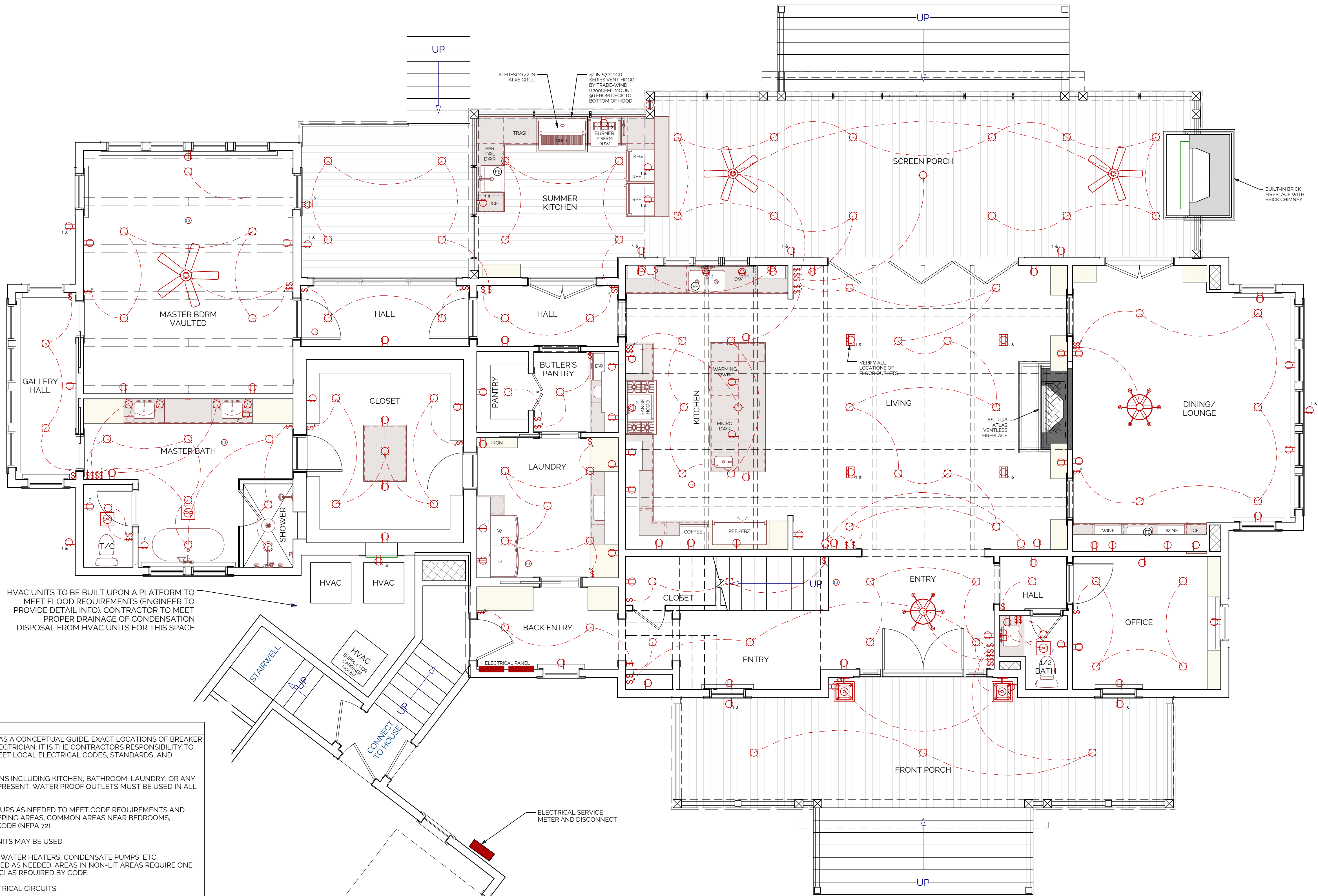
1/14/20

SCALE:

1/4"=1'-0"

SHEET:

E-101



HVAC UNITS TO BE BUILT UPON A PLATFORM TO MEET FLOOD REQUIREMENTS (ENGINEER TO PROVIDE DETAIL INFO). CONTRACTOR TO MEET PROPER DRAINAGE OF CONDENSATION DISPOSAL FROM HVAC UNITS FOR THIS SPACE

ELECTRICAL SERVICE METER AND DISCONNECT

#### GENERAL ELECTRICAL NOTES

- DRAWINGS PROVIDED ARE FOR DIAGRAMMATIC PURPOSES ONLY AND SHOULD ONLY BE USED AS A CONCEPTUAL GUIDE. EXACT LOCATIONS OF BREAKER PANELS, WIRING, CONDUIT, DISCONNECTS, ETC MUST BE DETERMINED BY A LOCAL CERTIFIED ELECTRICIAN. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE FINAL LOCATIONS OF ALL ELECTRICAL ITEMS WITH BUYER AND ELECTRICIAN TO MEET LOCAL ELECTRICAL CODES, STANDARDS, AND REQUIREMENTS.
- ALL OUTLET LOCATIONS MUST MEET LOCAL BUILDING CODES AND STANDARDS. WET LOCATIONS INCLUDING KITCHEN, BATHROOM, LAUNDRY, OR ANY AREA EXPOSED TO WEATHER MUST HAVE GFCI OUTLETS PER CODE WHERE RUNNING WATER IS PRESENT. WATER PROOF OUTLETS MUST BE USED IN ALL EXTERIOR APPLICATIONS.
- ELECTRICIAN AND BUILDER TO INSTALL HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUPS AS NEEDED TO MEET CODE REQUIREMENTS AND OWNERS REQUEST. ELECTRICIAN TO MAKE SURE SMOKE DETECTORS ARE INSTALLED IN ALL SLEEPING AREAS, COMMON AREAS NEAR BEDROOMS, KITCHEN, ON EACH FLOOR, AND CLOSE TO STAIRS GOING UP, AND OTHER PLACES REQUIRED BY CODE (NFPA 72).
- CARBON MONOXIDE DETECTORS ARE TO BE WITHIN 10' OF SLEEPING ROOMS. COMBINATION UNITS MAY BE USED.
- ELECTRICIAN AND CONTRACTOR TO COORDINATE ELECTRICAL SERVICE TO AIR CONDITIONING, WATER HEATERS, CONDENSATE PUMPS, ETC. CONTRACTOR AND ELECTRICIAN RESPONSIBLE TO COORDINATE APPROPRIATE AMPACITY REQUIRED AS NEEDED. AREAS IN NON-LIT AREAS REQUIRE ONE OUTLET AND ONE LIGHT. ALL OUTLETS EXPOSED TO WEATHER SHALL HAVE WEATHERPROOF GFCI AS REQUIRED BY CODE.
- ELECTRICIAN TO PROVIDE PANEL BOARDS OF PROPER AMPACITY AND VOLTAGE FOR ALL ELECTRICAL CIRCUITS.
- ALL SERVICE REQUIREMENTS MUST BE COORDINATED WITH LOCAL POWER COMPANY INCLUDING LOCATION AND TYPES OF TRANSFORMERS. DISCONNECTS AT EXTERIOR OF BUILDING, VOLTAGES, AMPACITIES AND ALL OTHER ELECTRICAL CONSTRUCTION DETAILS. FEEDERS SHOULD BE SIZED ACCORDING TO NEC REQUIREMENTS.
- ALL CONCEALED CABLES TO BE RUN IN FLOORS, WALLS, OR CEILINGS AS NEEDED.
- CONTRACTOR AND ELECTRICIAN TO PROVIDE BLOCKING FOR ALL ELECTRICAL FIXTURES AS NEEDED.
- RECEPTACLES IN EXTERIOR WALLS MUST BE ISOLATED AND SEALED SOLIDLY.
- SWITCHES SHOULD TYPICALLY BE MOUNTED 48" ABOVE FINISH FLOOR TO CENTER OF SWITCH. LOCATE SWITCHES ADJACENT TO DOOR CASINGS BUT NOT INTERSECTING DOOR CASINGS OR TRIM.
- EXTERIOR SECURITY LIGHTING TO BE SELECTED AND LOCATED BY OWNER. ELECTRICIAN TO VERIFY SWITCHING LOCATION.
- ALL LIGHTING TO BE CFL OR LED HIGH-EFFICIENCY BULBS PER FBC-ENERGY CONSERVATION R404.

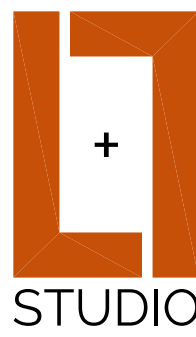
#### GENERAL MECHANICAL NOTES

- CLOSELY COORDINATE WORK WITH ALL OTHER TRADES ESPECIALLY CONCERNING ENGINEERED FLOOR SYSTEMS.
- DESIGN AND SPECIFICATION OF MECHANICAL SYSTEM TO BE DETERMINED BY BUILDER OR LOCAL ENGINEER.
- BUILDER TO FURNISH ALL DUCTWORK, CONTROL WIRING, PIPING, FITTINGS, ACCESSORIES, ECT. FOR COMPLETE INSTALLATION.
- MAINTAIN CEILING HEIGHTS AND DUCT SPACES PROVIDED.

! " # \$ % & ' ( ) \* + , - . / : ;

ELECTRICAL LEGEND	
	DUPLEX RECEPTACLE (OUTLET)
	DUPLEX RECEPTACLE - FLOOR MOUNTED
	DUPLEX RECEPTACLE - WATERPROOF
	DUPLEX RECEPTACLE - GROUND FAULT CIRCUIT INTERRUPT
	DUPLEX RECEPTACLE - 250 VOLT
	SMOKE/CO2 DETECTOR
	FIRE EXTINGUISHER
	SINGLE POLE SWITCH
	RANGE HOOD VENT
	EXHAUST FAN
	SCONCE LIGHT
	RECESSED DOWN LIGHT
	FLUORESCENT LIGHT
	CHANDELIER LIGHT FIXTURE
	LANTERN LIGHT FIXTURE
	CEILING FAN





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APPROVED BY A LICENSED PROFESSIONAL  
STRUCTURAL ENGINEER. THESE DRAWINGS  
ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:  
SECOND FLOOR  
ELECTRICAL PLAN

PROJECT DESCRIPTION:  
SINGLETARY RESIDENCE  
CRANE ISLAND, FL

DRAWINGS PROVIDED BY:  
LAKE AND LAND STUDIO, LLC  
16 Beltzberg Blvd  
Pattersonburg, WI 53402  
907.339.0014  
info@lakeandlandstudio.com

DATE:

1/14/20

SCALE:

1/4"=1'-0"

SHEET:

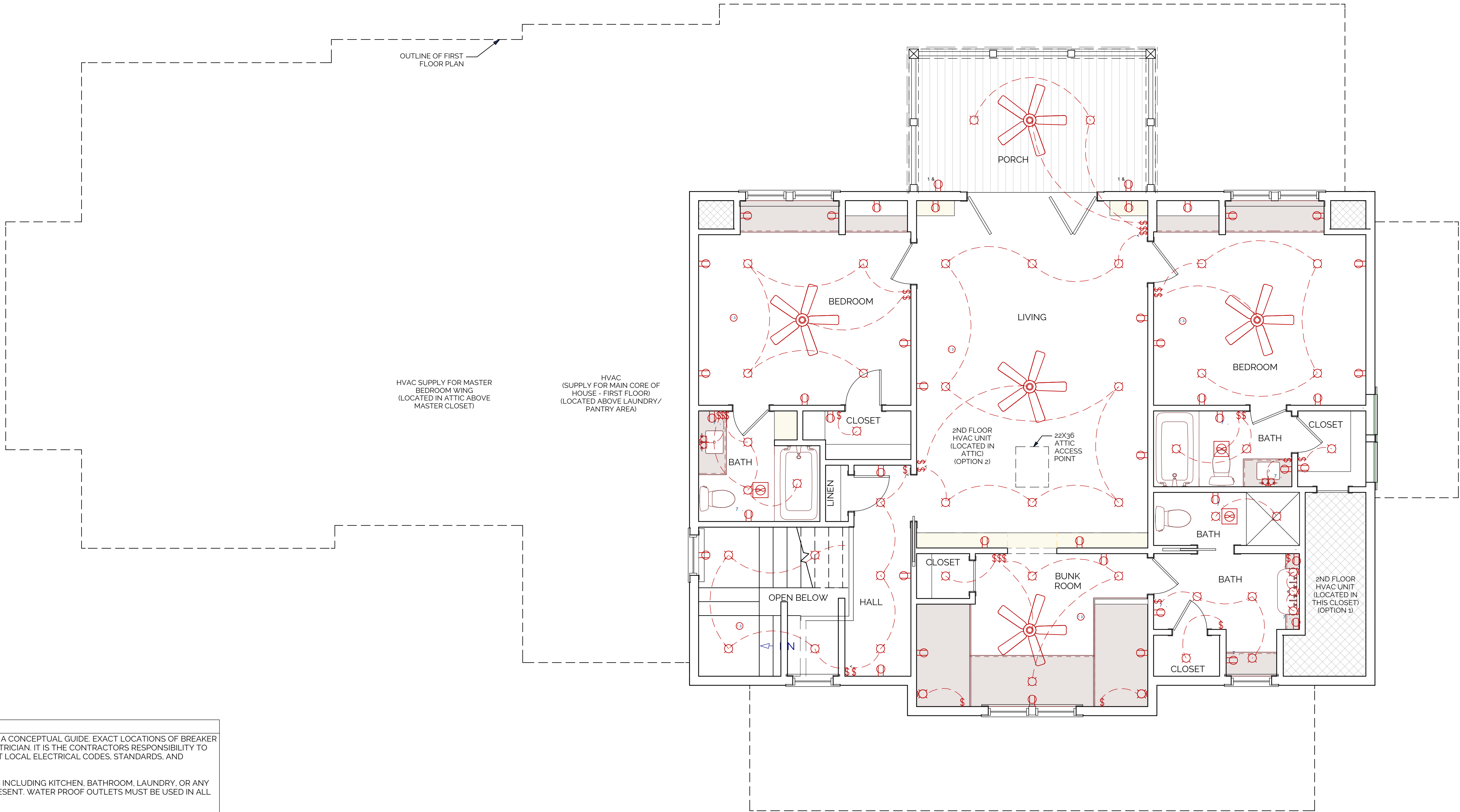
E-102

GENERAL ELECTRICAL NOTES

- DRAWINGS PROVIDED ARE FOR DIAGRAMMATIC PURPOSES ONLY AND SHOULD ONLY BE USED AS A CONCEPTUAL GUIDE. EXACT LOCATIONS OF BREAKER PANELS, WIRING, CONDUIT, DISCONNECTS, ETC MUST BE DETERMINED BY A LOCAL CERTIFIED ELECTRICIAN. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE FINAL LOCATIONS OF ALL ELECTRICAL ITEMS WITH BUYER AND ELECTRICIAN TO MEET LOCAL ELECTRICAL CODES, STANDARDS, AND REQUIREMENTS.
- ALL OUTLET LOCATIONS MUST MEET LOCAL BUILDING CODES AND STANDARDS. WET LOCATIONS INCLUDING KITCHEN, BATHROOM, LAUNDRY, OR ANY AREA EXPOSED TO WEATHER MUST HAVE GFCI OUTLETS PER CODE WHERE RUNNING WATER IS PRESENT. WATER PROOF OUTLETS MUST BE USED IN ALL EXTERIOR APPLICATIONS.
- ELECTRICIAN AND BUILDER TO INSTALL. HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUPS AS NEEDED TO MEET CODE REQUIREMENTS AND OWNERS REQUEST. ELECTRICIAN TO MAKE SURE SMOKE DETECTORS ARE INSTALLED IN ALL SLEEPING AREAS, COMMON AREAS NEAR BEDROOMS, KITCHEN, ON EACH FLOOR, AND CLOSE TO STAIRS GOING UP, AND OTHER PLACES REQUIRED BY CODE (NFPA 72).
- CARBON MONOXIDE DETECTORS ARE TO BE WITHIN 10' OF SLEEPING ROOMS. COMBINATION UNITS MAY BE USED.
- ELECTRICIAN AND CONTRACTOR TO COORDINATE ELECTRICAL SERVICE TO AIR CONDITIONING, WATER HEATERS, CONDENSATE PUMPS, ETC. CONTRACTOR AND ELECTRICIAN RESPONSIBLE TO COORDINATE APPROPRIATE AMPACITY REQUIRED AS NEEDED. AREAS IN NON-LIT AREAS REQUIRE ONE OUTLET AND ONE LIGHT. ALL OUTLETS EXPOSED TO WEATHER SHALL HAVE WEATHERPROOF GFCI AS REQUIRED BY CODE.
- ELECTRICIAN TO PROVIDE PANEL BOARDS OF PROPER AMPACITY AND VOLTAGE FOR ALL ELECTRICAL CIRCUITS.
- ALL SERVICE REQUIREMENTS MUST BE COORDINATED WITH LOCAL POWER COMPANY INCLUDING LOCATION AND TYPES OF TRANSFORMERS, DISCONNECTS AT EXTERIOR OF BUILDING, VOLTAGES, AMPACITIES AND ALL OTHER ELECTRICAL CONSTRUCTION DETAILS. FEEDERS SHOULD BE SIZED ACCORDING TO NEC REQUIREMENTS.
- ALL CONCEALED CABLES TO BE RUN IN FLOORS, WALLS, OR CEILINGS AS NEEDED.
- CONTRACTOR AND ELECTRICIAN TO PROVIDE BLOCKING FOR ALL ELECTRICAL FIXTURES AS NEEDED.
- RECEPTACLES IN EXTERIOR WALLS MUST BE ISOLATED AND SEALED SOLIDLY.
- SWITCHES SHOULD TYPICALLY BE MOUNTED 48" ABOVE FINISH FLOOR TO CENTER OF SWITCH. LOCATE SWITCHES ADJACENT TO DOOR CASINGS BUT NOT INTERSECTING DOOR CASINGS OR TRIM.
- EXTERIOR SECURITY LIGHTING TO BE SELECTED AND LOCATED BY OWNER. ELECTRICIAN TO VERIFY SWITCHING LOCATION.
- ALL LIGHTING TO BE CFL OR LED HIGH-EFFICIENCY BULBS PER FBC-ENERGY CONSERVATION R404.

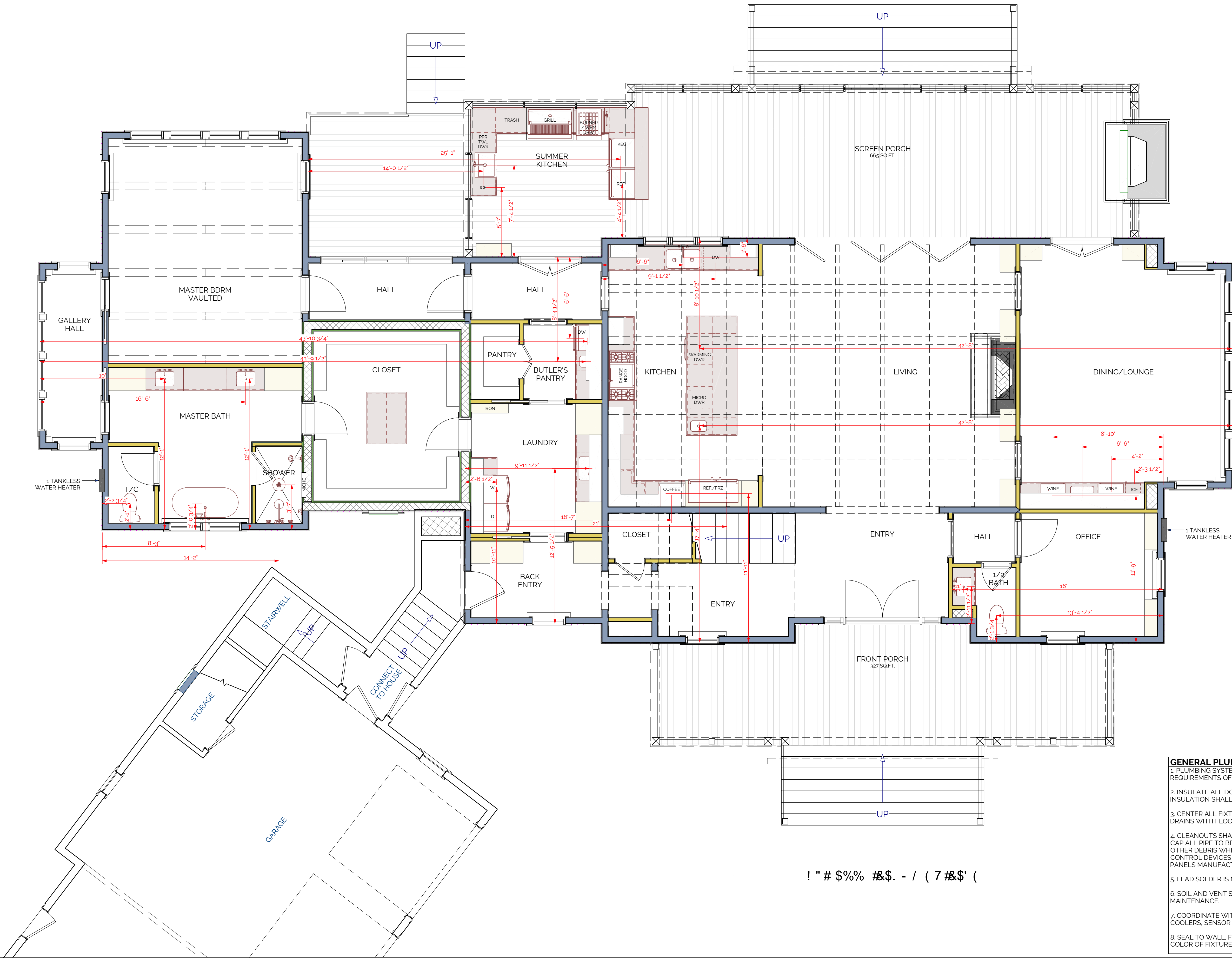
GENERAL MECHANICAL NOTES

- CLOSELY COORDINATE WORK WITH ALL OTHER TRADES ESPECIALLY CONCERNING ENGINEERED FLOOR SYSTEMS.
- DESIGN AND SPECIFICATION OF MECHANICAL SYSTEM TO BE DETERMINED BY BUILDER OR LOCAL ENGINEER.
- BUILDER TO FURNISH ALL DUCTWORK, CONTROL WIRING, PIPING, FITTINGS, ACCESSORIES, ECT. FOR COMPLETE INSTALLATION.
- MAINTAIN CEILING HEIGHTS AND DUCT SPACES PROVIDED.

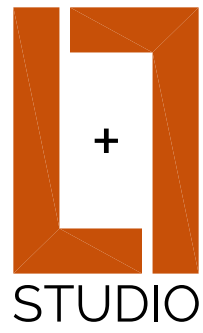


ELECTRICAL LEGEND	
	DUPLEX RECEPTACLE (OUTLET)
	DUPLEX RECEPTACLE - FLOOR MOUNTED
	DUPLEX RECEPTACLE - WATERPROOF
	DUPLEX RECEPTACLE - GROUND FAULT CIRCUIT INTERRUPT
	DUPLEX RECEPTACLE - 220 VOLT
	SMOKE/CO2 DETECTOR
	FIRE EXTINGUISHER
	SINGLE POLE SWITCH
	RANGE HOOD VENT
	EXHAUST FAN
	SCONCE LIGHT
	RECESSED DOWN LIGHT
	PENDANT LIGHT
	FLUORESCENT LIGHT
	CHANDELIER LIGHT FIXTURE
	LANTERN LIGHT FIXTURE
	CEILING FAN





- GENERAL PLUMBING NOTES**
1. PLUMBING SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS, AND REQUIREMENTS OF LOCAL UTILITY OFFICIALS.
  2. INSULATE ALL DOMESTIC WATER SUPPLY LINES IN UN-INSULATED SPACES WITH TUBULAR FOAM INSULATION. INSULATION SHALL BE OF SELF-SEALING TYPE OR SHALL BE TAPED CLOSED WITH FOIL FACED TAPE.
  3. CENTER ALL FIXTURES IN SPACE ALLOCATED UNLESS NOTED OTHERWISE. COORDINATE PLACEMENT OF ALL DRAINS WITH FLOORING SUBCONTRACTOR.
  4. CLEANOUTS SHALL EXTEND TO SURFACES OR SHALL BE PROVIDED WITH ACCESS DOORS OR SIMILAR DEVICES. CAP ALL PIPE TO BE LEFT OPEN OVERNIGHT, AND PROTECT PIPE DURING INSTALLATION FROM DIRT, GRAVEL, AND OTHER DEBRIS WHICH MIGHT CAUSE BLOCKAGES OR FLOW RESTRICTIONS. ALL VALVES, CLEANOUTS, AND CONTROL DEVICES SHALL BE ACCESSIBLE FOR OPERATION AND MAINTENANCE THROUGH ACCESS DOORS OR PANELS MANUFACTURED FOR SUCH PURPOSES.
  5. LEAD SOLDER IS NOT ALLOWED ON THIS PROJECT.
  6. SOIL AND VENT STACKS SHALL HAVE CLEANOUTS AS REQUIRED BY APPLICABLE CODES FOR PROPER MAINTENANCE.
  7. COORDINATE WITH AN ELECTRICIAN CONCERNING ITEMS REQUIRING ELECTRICAL SERVICE SUCH AS WATER COOLERS, SENSOR FLUSH VALVES AND WATER HEATERS. COORDINATE SERVICE AND AMPACITY REQUIRED.
  8. SEAL TO WALL, FLOOR OR COUNTERTOP AROUND ALL FIXTURES WITH TUB AND TILE SEALANT TO MATCH COLOR OF FIXTURE UNLESS OTHERWISE NOTED.



LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. THESE DRAWINGS ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:  
**FIRST FLOOR  
PLUMBING PLAN**

PROJECT DESCRIPTION:  
**SINGLETARY RESIDENCE  
CRANE ISLAND, FL**

DRAWINGS PROVIDED BY:  
**LAKE AND LAND STUDIO, LLC**  
16 Beltress Blvd  
Patterson, MS 39402  
601.330.0114  
info@lakeandlandstudio.com

DATE:

1/14/20

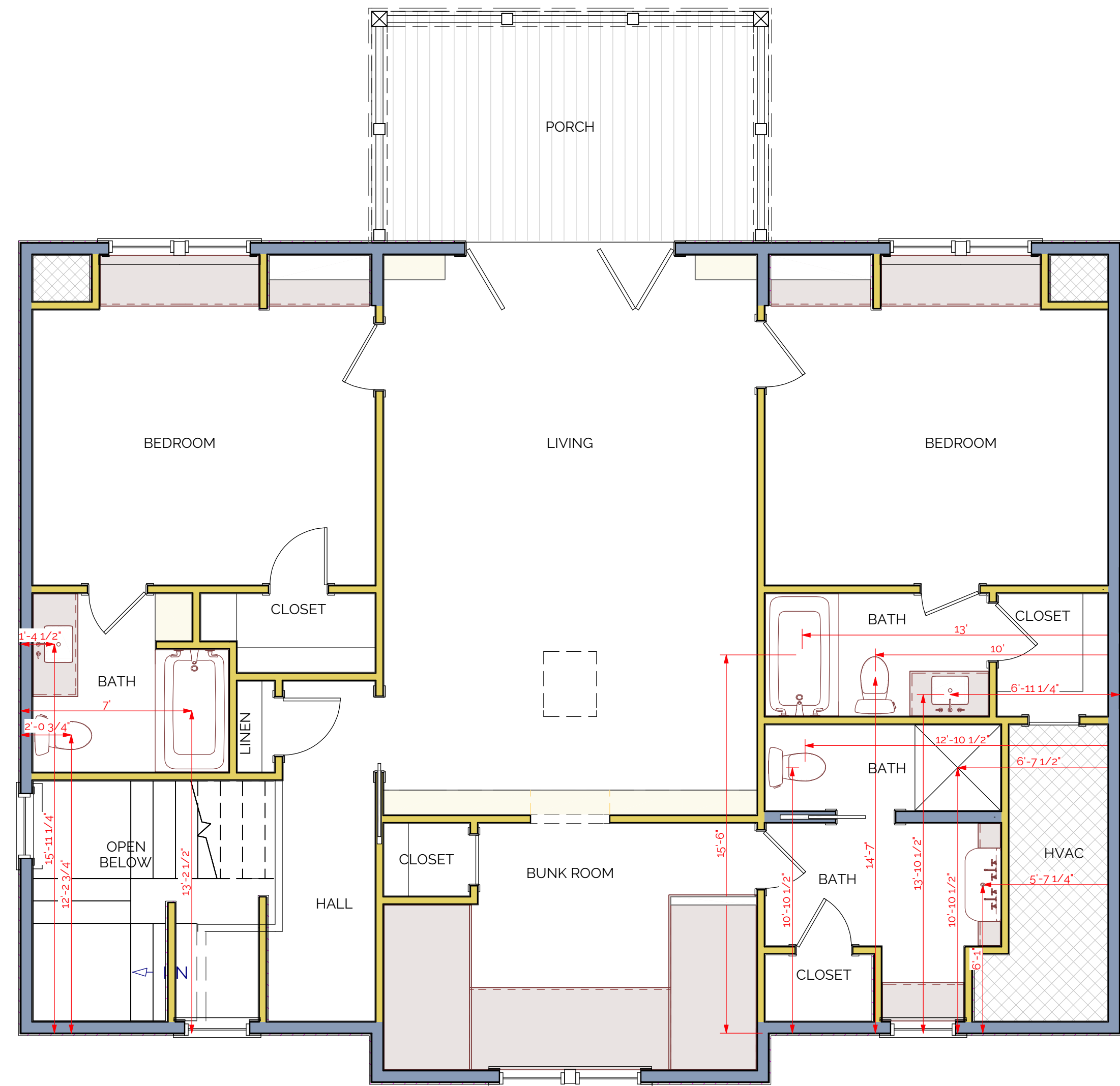
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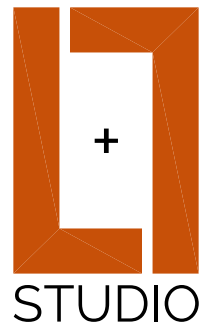
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- GENERAL PLUMBING NOTES**
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  2. INSULATE ALL DOMESTIC WATER SUPPLY LINES IN UN-INSULATED SPACES WITH TUBULAR FOAM INSULATION. INSULATION SHALL BE OF SELF-SEALING TYPE OR SHALL BE TAPED CLOSED WITH FOIL FACED TAPE.
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SHEET TITLE:  
**SECOND FLOOR  
PLUMBING PLAN**

PROJECT DESCRIPTION:  
**SINGLETARY RESIDENCE  
CRANE ISLAND, FL**

DRAWINGS PROVIDED BY:  
**LAKE AND LAND STUDIO, LLC**  
16 Beltress Blvd  
Pattersonburg, MS 39402  
601.330.6014  
info@lakeandlandstudio.com

DATE:

1/14/20

SCALE:

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SHEET:

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